

# COMMERCIAL PROPERTY OFFICE OPPORTUNITY



**Sarre & Company**  
CHARTERED SURVEYORS

## PRIME OFFICES TO LET 12 CASTLE STREET ST HELIER JERSEY



**UP TO 22,028 SQ.FT.**

**+ 8 BASEMENT CAR SPACES**

16 Gloucester Street, St.Helier, Jersey, Channel Islands, JE2 3QR

Tel: 01534 888848 Fax: 01534 888849

Email: [property@sarreandcompany.co.uk](mailto:property@sarreandcompany.co.uk) [www.sarreandcompany.co.uk](http://www.sarreandcompany.co.uk)



# 12 CASTLE STREET ST HELIER

## **LOCATION**

The premises are located in the heart of Jersey's Central Business District occupying a particularly prominent corner position within St Helier's prime office area.

More specifically, the premises are situated fronting Castle Street with a return frontage along La Rue des Mielles.

We attach a location plan and site plan for reference purposes.

## **DESCRIPTION**

The premises form part of a substantial purpose built office development, providing a full BCo Cat A specification, including but not limited to the following:

- Suspended ceilings with integral lighting;
- Comfort cooling/comfort heating;
- Double glazing;
- Fully accessible raised floors;
- Male & female WC facilities on each floor;
- Kitchenette facilities on each floor;
- Shower facilities.

In addition to the above base landlord specification, the premises have been fully fitted out by the existing tenant to provide the following:-

- Fully fitted reception;
- Five x 8 person meeting rooms;
- One x 14 person boardroom;
- Shower facilities;
- 10 private offices;
- 3 internal meeting rooms;
- Archive roller filing system;
- Impressive staff canteen and break out area.

The premises are available virtually fully fitted out, to include furniture if required.

We attach floor plans, with the existing lessee fit-out in place, for reference purposes.

# 12 CASTLE STREET ST HELIER

## ACCOMMODATION

The approximate Net Internal Areas of the building are as follows:

Ground Floor	947 sq.ft.	(87.9 sq.m.)
First Floor	2,109 sq.ft.	(195.9 sq.m.)
Second Floor	2,109 sq.ft.	(195.9 sq.m.)
Third Floor	8,429 sq.ft.	(783.1 sq.m.)
Fourth Floor	<u>8,434 sq.ft.</u>	<u>(783.5 sq.m.)</u>
<b>Total</b>	<b>22,028 sq.ft.</b>	<b>(2,046.3 sq.m.)</b>

In addition to the above, the base build includes 100 sq.ft. of kitchenettes and 122 sq.ft. of storage.

## PARKING

There are 8 secure basement car spaces available.

## TENURE

The premises are held on a fully repairing and insuring lease to expire on 24 December 2028, subject to 3 yearly open market rent reviews.

## RENTAL

The rent for the entire building is £658,961.50 per annum.

The passing rental equates to £28.50 per sq.ft. for the offices, half rate for the kitchenette and storage areas and £3,500 per annum per car space.

## OPPORTUNITY

The opportunity exists to take an assignment of the existing lease, based on a fully fitted out scenario, or alternatively the current lessees are happy to consider sub-letting on a floor by floor basis.

# 12 CASTLE STREET ST HELIER

## **OCCUPATION**

On completion of legal formalities.

## **LEGAL COSTS**

Each Party to bear their own legal costs.

## **COVENANT STRENGTH**

In line with normal market practice a suitable covenant or guarantee will be required by the sub-lessor and superior lessor.

## **VIEWING**

By contacting the vendor's sole agent:

**Alistair M Sarre BSc MRICS or Julian Roffe FRICS MCI. Arb**

**Sarre & Company  
16 Gloucester Street  
St Helier  
Jersey  
JE2 3QR**

**Tel: 01534 888848**

**Fax: 01534 888849**

**E-mail:**

**Website: [www.sarreandcompany.co.uk](http://www.sarreandcompany.co.uk)**

WHILST WE BELIEVE THESE PARTICULARS TO BE CORRECT NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY INACCURACY

JOB No.	1289	Type	U&M	Drawg No.	900	Rev	P2
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NOTES:  
 1. Review all drawings and specifications for consistency and accuracy. All dimensions shall be taken from the centerline of the wall unless otherwise noted.  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.  
 3. The contractor shall be responsible for coordinating all construction activities with the existing building structure and other trades.  
 4. The contractor shall be responsible for maintaining the safety of the construction site at all times.  
 5. The contractor shall be responsible for protecting the existing building structure and other trades' work.

Rev	Description	Date
P1	Initial Key Schedule Issue	11.09.06
P2	Revisions Issue	27.09.06



**KEY:**

- Green: Existing Structure
- Red: New Structure
- Blue: Existing Services
- Yellow: New Services
- Black: Existing Structure
- White: New Structure

• All dimensions are in meters unless otherwise stated.  
 • All dimensions are to the centerline of the wall unless otherwise stated.

**project management**

architecture  
 landscape  
 interior

1 The Ground Floor  
 2 The First Floor  
 3 The Second Floor  
 4 The Third Floor  
 5 The Fourth Floor  
 6 The Fifth Floor  
 7 The Sixth Floor  
 8 The Seventh Floor  
 9 The Eighth Floor  
 10 The Ninth Floor  
 11 The Tenth Floor  
 12 The Eleventh Floor  
 13 The Twelfth Floor  
 14 The Thirteenth Floor  
 15 The Fourteenth Floor  
 16 The Fifteenth Floor  
 17 The Sixteenth Floor  
 18 The Seventeenth Floor  
 19 The Eighteenth Floor  
 20 The Nineteenth Floor  
 21 The Twentieth Floor  
 22 The Twenty-first Floor  
 23 The Twenty-second Floor  
 24 The Twenty-third Floor  
 25 The Twenty-fourth Floor  
 26 The Twenty-fifth Floor  
 27 The Twenty-sixth Floor  
 28 The Twenty-seventh Floor  
 29 The Twenty-eighth Floor  
 30 The Twenty-ninth Floor  
 31 The Thirtieth Floor

Client: Capita

Client Ref:

Project: Unit 3 Fitout  
 26 Esplanade, St Helier  
 Jersey

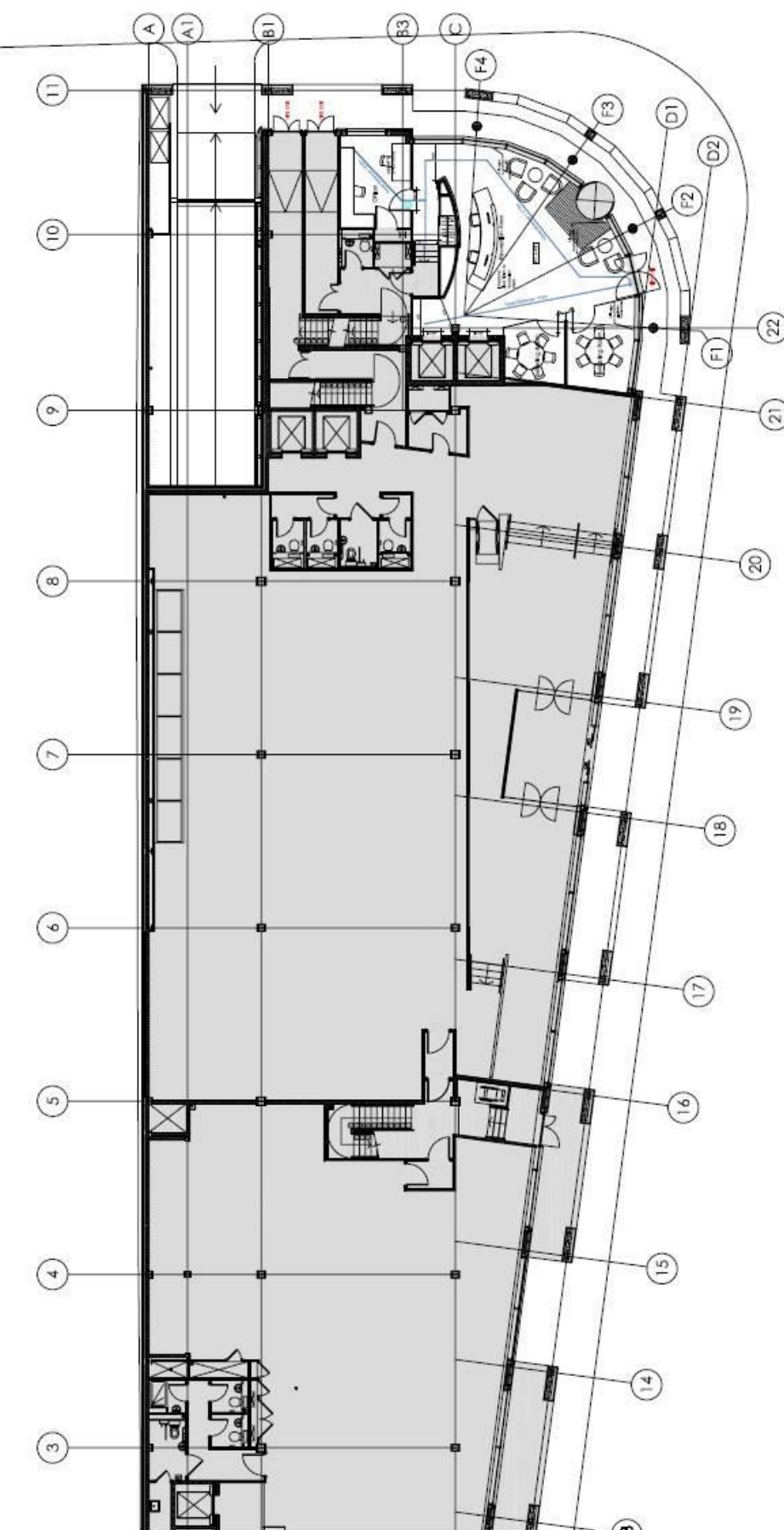
Drawn By: Fire Strategy  
 Ground Floor Plan

Scale: 1:100@A1  
 Date: 27.09.06  
 Drawn: NRS  
 Checked: BFD-LAVS

Job No.: 1289  
 Type: U&M  
 Drawg No.: 900  
 Rev: P2

PROPOSED MAINTENANCE OCCUPANCY  
 IS BEING CONSIDERED IN  
 THE DESIGN OF THE  
 BUILDING.

ALL DIMENSIONS ARE IN METERS  
 UNLESS OTHERWISE STATED.  
 ALL DIMENSIONS ARE TO THE  
 CENTERLINE OF THE WALL  
 UNLESS OTHERWISE STATED.



Job No.	Type	Chg No.	Rev
1889	LG&I	901	P3

NOTES:  
 1. Model of work shown on this drawing is for information only. It is not intended to be used for construction purposes. The contractor shall verify all dimensions and conditions of work shown on this drawing before commencing work. The contractor shall be responsible for all work shown on this drawing and shall be held liable for any errors or omissions. The contractor shall be responsible for all work shown on this drawing and shall be held liable for any errors or omissions.

Rev.	Description	Date
P1	Final Design Approval Issue	15.09.20
P2	Revisions Issue	22.09.20
P3	Revisions Issue, Refinement of Proposed Work	22.10.20



**KEY:**

- Work to be done by the contractor
- Work to be done by the client
- Work to be done by the architect
- Work to be done by the landscape architect
- Work to be done by the interior architect
- Work to be done by the project manager

**architecture**  
**landscape**  
**interior**  
**project management**

Black Wood  
 11th Floor  
 26 Empls, 31 Heller  
 Jersey  
 01534 200 888  
 01534 200 889  
 www.blackwood.com

Client  
 Capita

Client Ref

Project  
 Unit 9 Fitout  
 26 Empls, 31 Heller  
 Jersey

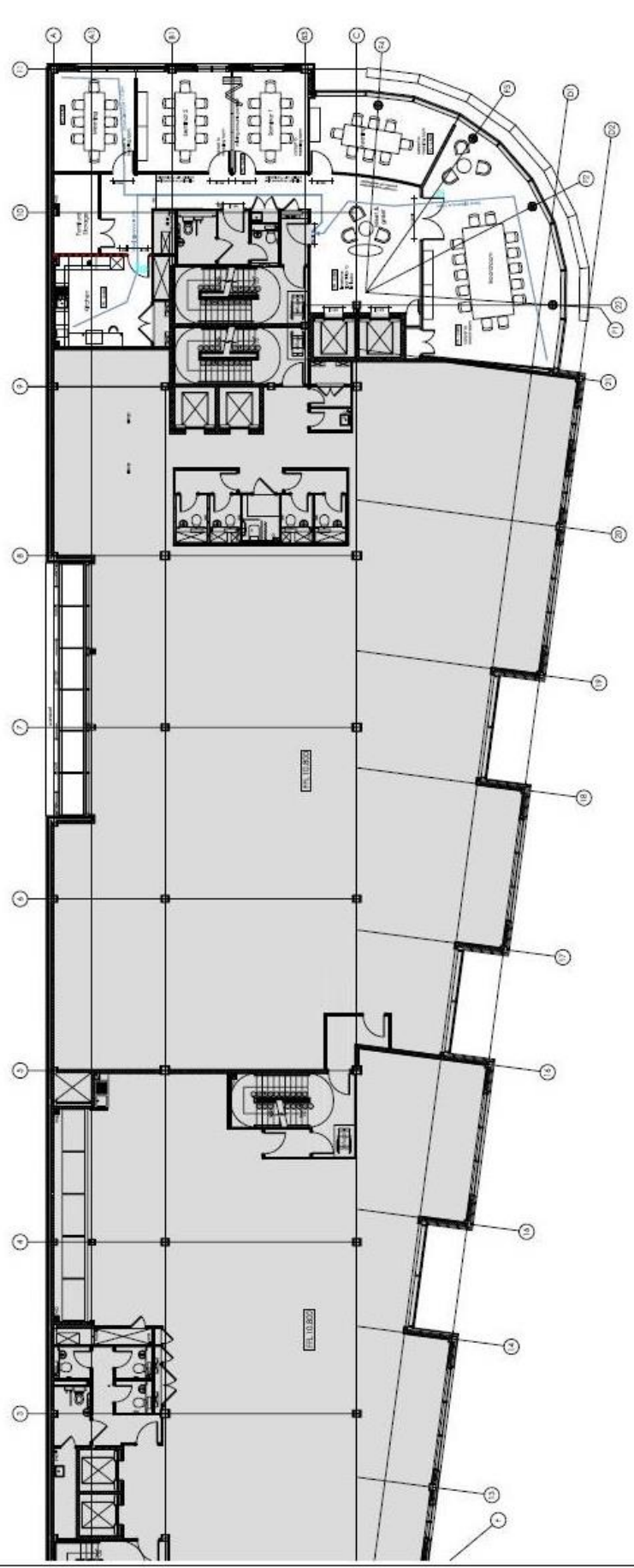
Drawings Title  
 The Strategy  
 1st Floor Plan

Scale  
 1:100 (B1)  
 Drawn  
 NRS  
 Checked  
 C/S

Scale  
 1:100 (B1)  
 Drawn  
 NRS  
 Checked  
 C/S

Job No.	Type	Chg No.	Rev
1889	LG&I	901	P3

- CHANGING TO BE BOUND BY THE CONTRACT DOCUMENTS
- REVISIONS TO BE MADE BY THE CONTRACTOR
- REVISIONS TO BE MADE BY THE ARCHITECT
- REVISIONS TO BE MADE BY THE LANDSCAPE ARCHITECT
- REVISIONS TO BE MADE BY THE INTERIOR ARCHITECT
- REVISIONS TO BE MADE BY THE PROJECT MANAGER





Job No.	1089	Type	USN	Chg No.	903	Rev.	P2
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NOTES:  
 1. All work shall be in accordance with the latest editions of the applicable codes and standards.  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals.  
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors.  
 4. The contractor shall be responsible for maintaining safety and security of the project site.  
 5. The contractor shall be responsible for protecting existing conditions and utilities.  
 6. The contractor shall be responsible for maintaining access to adjacent properties.  
 7. The contractor shall be responsible for maintaining the site in accordance with all applicable laws and regulations.  
 8. The contractor shall be responsible for maintaining the site in accordance with all applicable laws and regulations.

Rev.	Description	Date
P1	Final Floor Plan	11/09/06
P2	Revised Floor Plan	11/09/06



KEY:
<ul style="list-style-type: none"> <li>• New Work</li> <li>• Existing Work</li> <li>• Demolition</li> <li>• Mechanical</li> <li>• Electrical</li> <li>• Plumbing</li> <li>• Fire Protection</li> <li>• Structural</li> <li>• Other</li> </ul>

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architecture  
 landscape  
 interior  
 project management

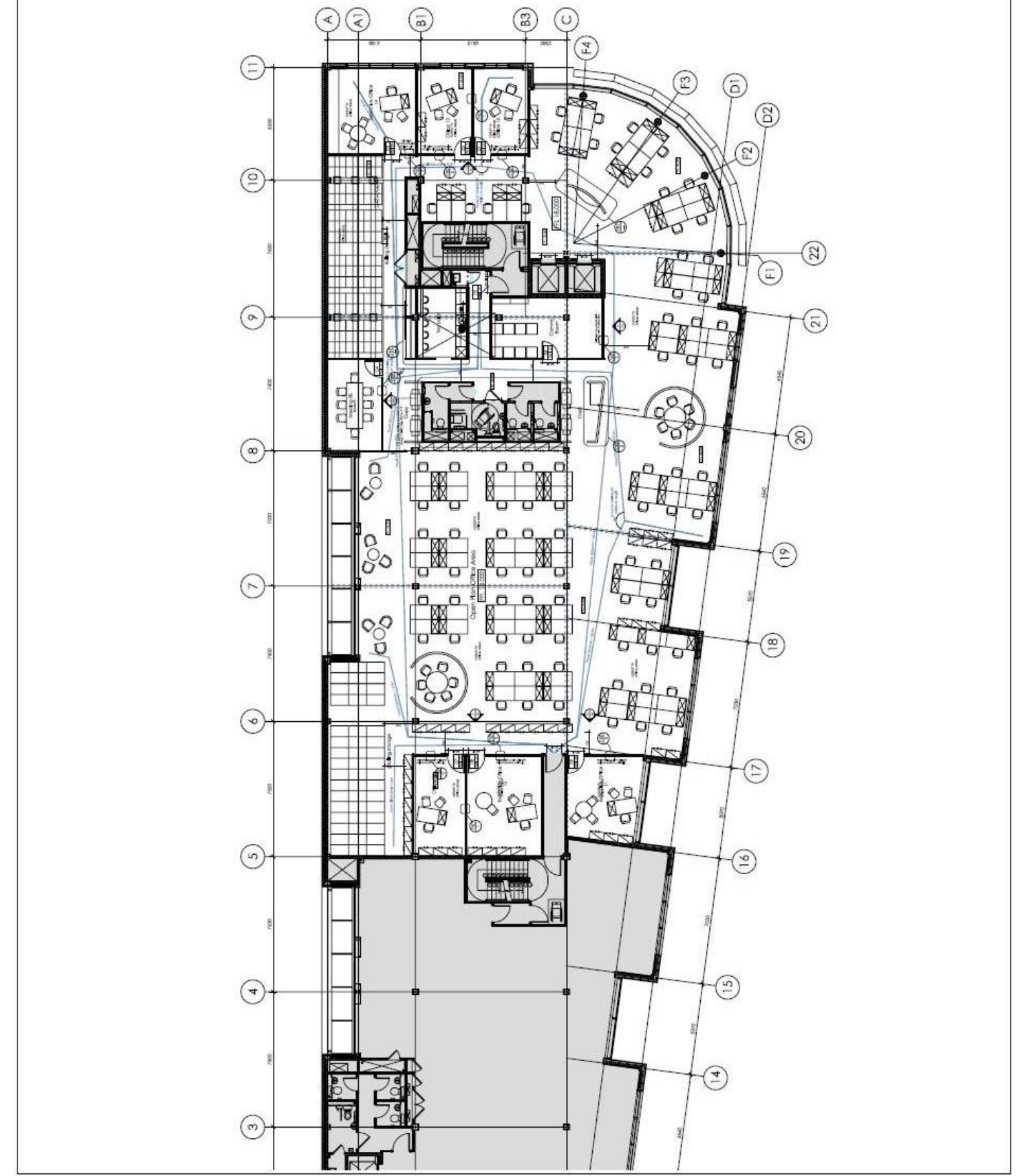
David Ward  
 2308 Street  
 10000 2001 1000  
 1-202-725-1807  
 www.davidward.com

Client  
 Coaltia

Client Ref.  
 Project  
 Unit 3 Fitout  
 26 Esplanade, St Heller  
 Jersey

Drawn by  
 Fire Strategy  
 Third Floor Plan

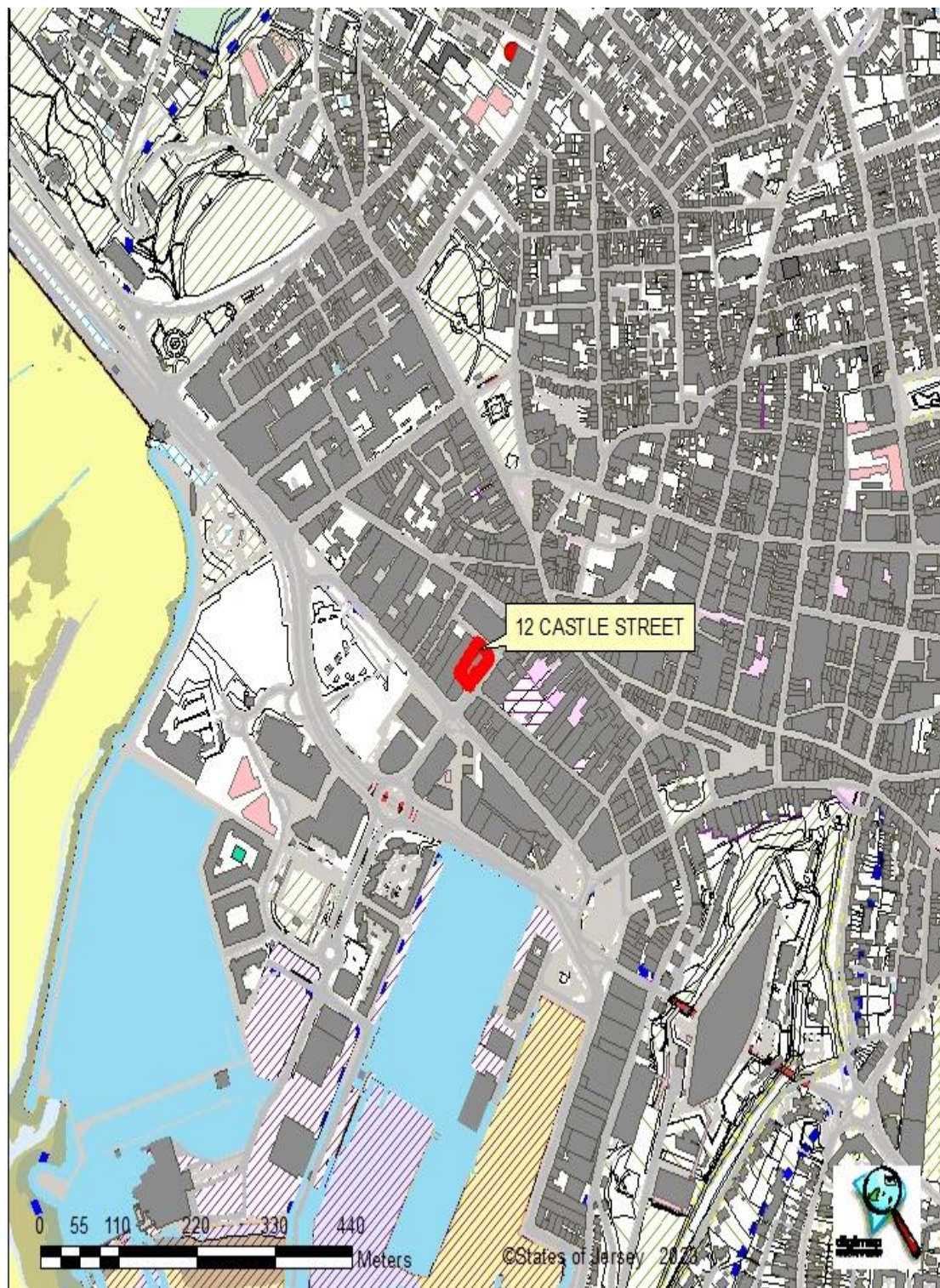
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Drawn	NBS	Checked	
Drawn Status	B75-JAWS		





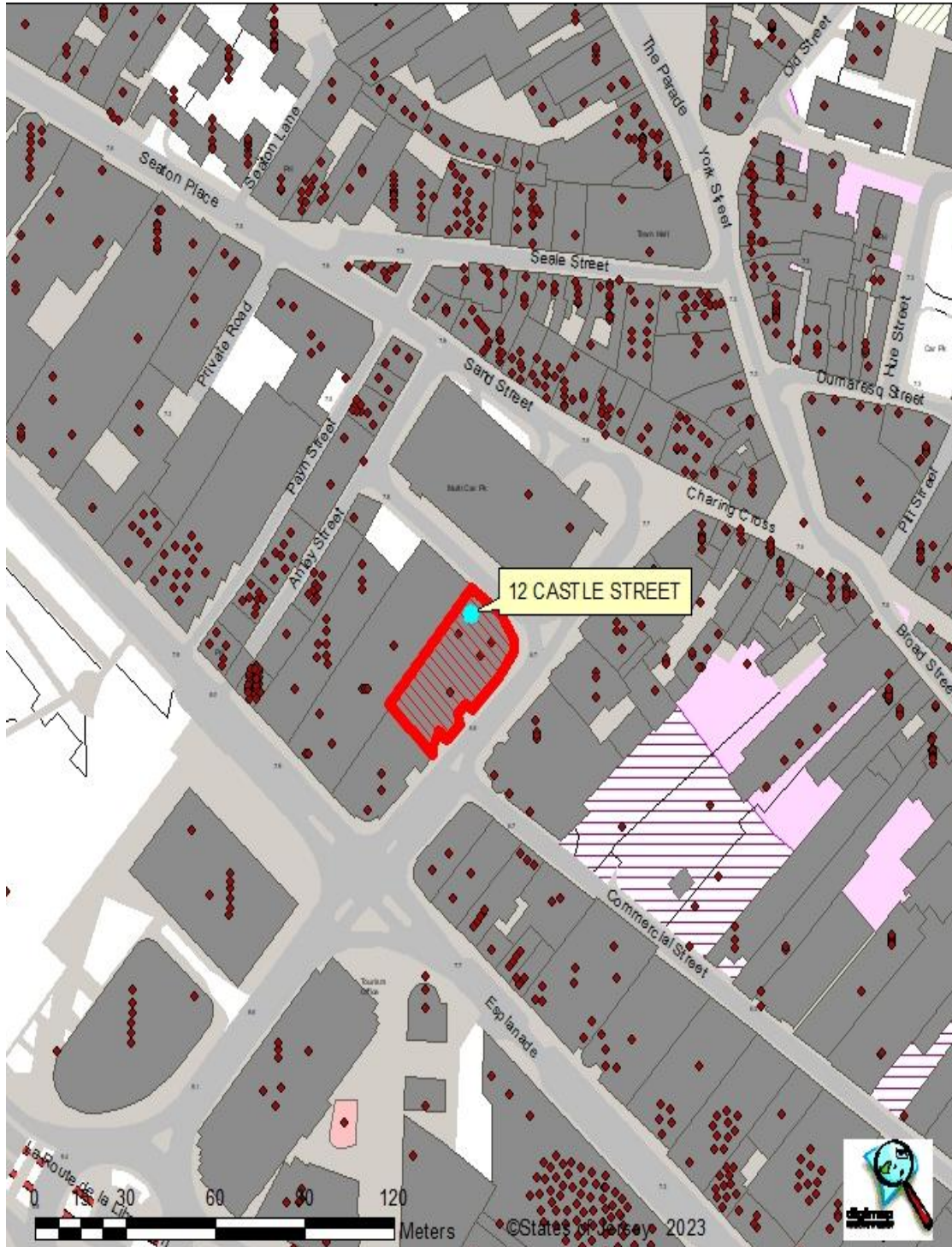


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