

# COMMERCIAL PROPERTY OFFICE OPPORTUNITY



**Sarre & Company**  
CHARTERED SURVEYORS

## PRIME OFFICES THIRD FLOOR 25/26 ESPLANADE ST HELIER JERSEY



**4,114 SQ.FT.**

**+ 2 BASEMENT CAR SPACES**

16 Gloucester Street, St. Helier, Jersey, Channel Islands, JE2 3QR

Tel: 01534 888848 Fax: 01534 888849

Email: [property@sarreandcompany.co.uk](mailto:property@sarreandcompany.co.uk) [www.sarreandcompany.co.uk](http://www.sarreandcompany.co.uk)



# 25/26 ESPLANADE ST HELIER, JERSEY

## **LOCATION**

The premises are located in Jersey's AAA prime office location, occupying a prominent corner position.

More specifically, the premises are situated fronting the Esplanade on the North West Corner of the junction with Castle Street.

Nearby occupiers include The Jersey Financial Services Commission, Standard Chartered Bank, Spoor & Fisher, KPMG, PWC, UBS, BNP Paribas, Rathbones and Citibank, to name but a few.

We attach a location plan and site plan for reference purposes.

## **DESCRIPTION**

The property forms part of a substantial purpose built office development, providing a full BCo Cat A specification over ground and four upper floors.

The available accommodation is situated on the third floor and benefits from the following amenities.

- Suspended ceilings with integral lighting;
- Comfort cooling and comfort heating;
- Painted and plastered walls;
- Double glazing;
- Fully accessible raised floors;
- Excellent natural light;
- Efficient floor plate;
- Male & female WC facilities.

We attach a floor plan showing the existing layout and a selection of internal photographs for reference purposes.

## **GENERAL FURNITURE**

By agreement, the existing office furniture, fixtures and fittings are potentially available.

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## **ACCOMMODATION**

The Net Internal Areas of the accommodation are as follows:

Third Floor            Office            4,114 sq.ft.

Third Floor            Kitchen            20 sq.ft.

2 basement car spaces are available with this floor.

## **TENURE**

The premises are held on a fully repairing and insuring lease, to expire on 24 December 2028 and subject to 3 yearly Open Market rent reviews.

## **RENTAL**

The passing rental of £128,658 per annum equates to £29.50 per sq.ft. for the offices and £3,500 per annum per space, and half rate for the kitchen area.

## **OPPORTUNITY**

The opportunity exists to take an assignment of the existing lease, based on a semi-fitted out scenario.

## **OCCUPATION**

On completion of legal formalities.

## **LEGAL COSTS**

Each Party to bear their own legal costs.

# 25/26 ESPLANADE ST HELIER, JERSEY

## COVENANT STRENGTH

In line with normal market practice a suitable covenant or guarantee will be required by the lessor.

## VIEWING

By contacting the vendor's sole agent:

**Alistair M Sarre BSc MRICS or Julian Roffe FRICS MCI. Arb**

**Sarre & Company  
16 Gloucester Street  
St Helier  
Jersey  
JE2 3QR**

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**Fax: 01534 888849**

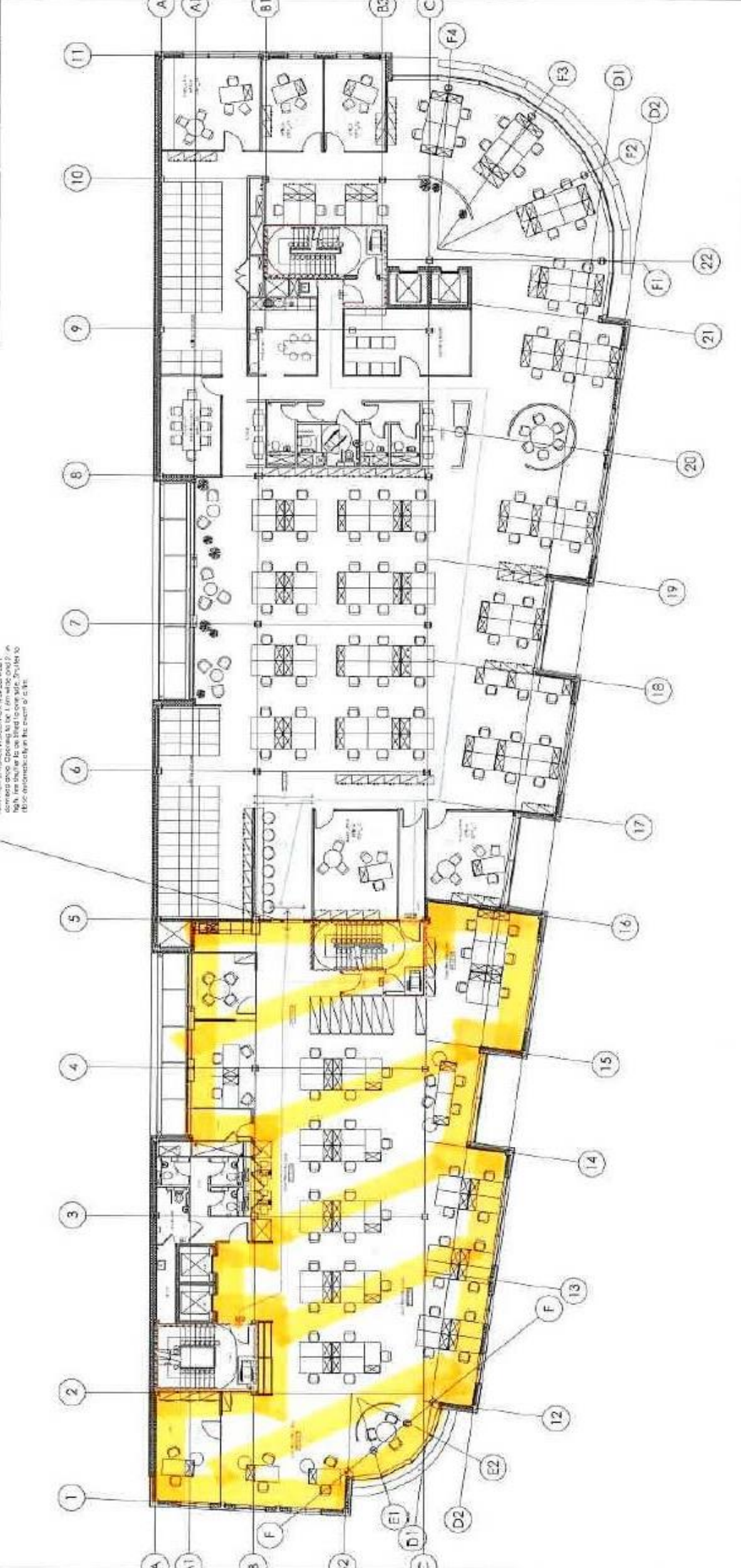
**E-mail: [property@sarreandcompany.co.uk](mailto:property@sarreandcompany.co.uk)**

**Website: [www.sarreandcompany.co.uk](http://www.sarreandcompany.co.uk)**

WHILST WE BELIEVE THESE PARTICULARS TO BE CORRECT NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY INACCURACY

REV	DATE	BY	CHKD	DESCRIPTION
1	12/11	0	0	

NOTE:  
 1. All dimensions are in millimeters unless otherwise stated.  
 2. All dimensions are to the center of the wall unless otherwise stated.  
 3. All dimensions are to the center of the column unless otherwise stated.  
 4. All dimensions are to the center of the door unless otherwise stated.  
 5. All dimensions are to the center of the window unless otherwise stated.  
 6. All dimensions are to the center of the staircase unless otherwise stated.  
 7. All dimensions are to the center of the lift unless otherwise stated.  
 8. All dimensions are to the center of the shaft unless otherwise stated.  
 9. All dimensions are to the center of the core unless otherwise stated.  
 10. All dimensions are to the center of the wall unless otherwise stated.



From these dimensions it should be noted that the yellow shaded area is not a simple rectangle but follows the irregular shape of the building's footprint in that section.

Client	Capitol Recovery Group Ltd
Project	Major Interior Material Alterations (25 Esplanade), St. Helier, Jersey
Drawn By	Proposed Third Floor General Arrangement Plan
Date	21/01/11
Scale	1:125
Drawn By	11
Checked By	11
Project	11

**Offices**  
 25 Esplanade  
 St. Helier, Jersey  
 JE2 3RZ  
 Tel: 01534 811111  
 www.offices.com

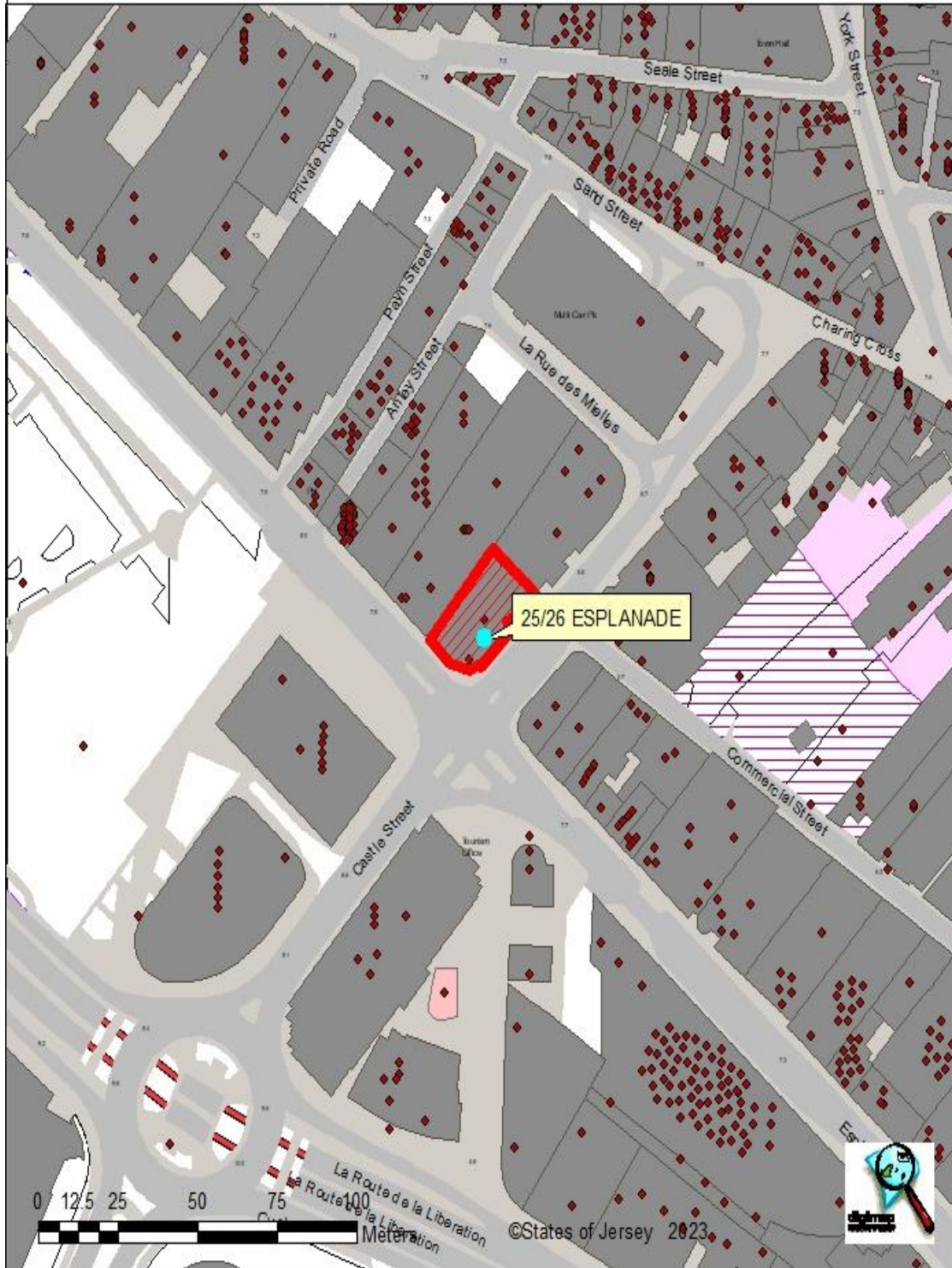


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